



BUILDING SECTION



A GUIDE TO OBTAINING A BUILDING CONSENT

RESIDENTIAL BUILDINGS

This document sets out in simple terms what is required to obtain a building consent.

WHEN IS A BUILDING CONSENT REQUIRED?

A building consent is required for most building work. There are some exceptions listed in the Building Act. Please ask a Council building inspector for advice.

HOW DO I GET BUILDING CONSENT

The Councils Building Inspectors and other officers involved in the processing of Building Consent applications need to know in detail the type and the extent of the building work you wish to undertake.



Every application must be made on the prescribed form; these are available on our web site gdc.govt.nz, from Councils Office at Fitzherbert Street Gisborne and also from our Service Centre at Te Puia Springs

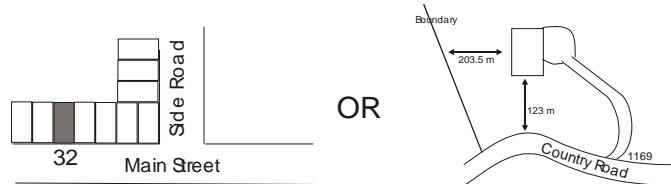
The application form must be completed fully and the required information should be PRINTED to ensure that it is clearly understood. A comprehensive list of supporting documentation can be found on the insert sheet provided with the application form. Do not hesitate to ask for help with any part of the form.

Together with your application form you are required to provide two copies of the plans. Because all plans are being scanned for record storage it is important that your plans are clear, concise and drawn to scale in **black ink**. They should not be drawn on graph paper under any circumstances. The plans should include:-

A **location plan**, a **site plan**, a **floor plan** of each floor (if there is more than one), an **elevation** of each exterior wall, **drainage plan**, **foundation layout**, and sufficient **cross-sections** to show the full nature and extent of the work.

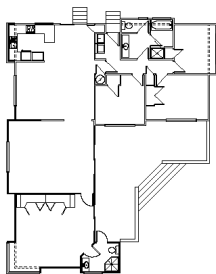
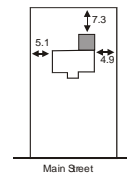
Location Plan.

The location plan should show the location of the site in relation to known points. It need not be to scale.



Site Plan

The Site Plan must be drawn to scale and should show all buildings on the site and their relationship to the boundaries. Normal scale is 1:200. We recognise that this is not always possible for buildings on country properties, please ask the Duty Building Inspector what details are required if this is the case with your application.

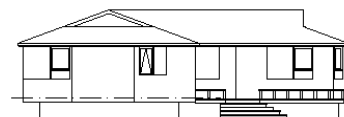
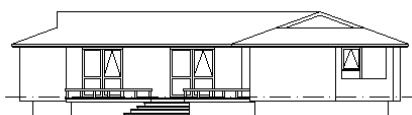


The Floor plan Scale 1:50 or 1:100

The floor plan should clearly show the rooms on that floor the intended use of that room. Show the fittings within the room such as benches in the kitchen, bath and basin in the bathroom and the position of the pan in the toilet compartment.

Elevations Scale 1:50 or 1:100

Provide an elevation of each exterior wall showing all openings and the



size of the lintel above it. Clearly show the position of bracing in each wall. For new dwellings, and substantial additions, a weathertightness matrix must be supplied for each elevation. This matrix is a scoring system that determines if your choice of exterior cladding must have a drained and ventilated cavity behind it or not.

A fact sheet on the weathertight matrix is available on request.

Cross Sections Scale 1:50

Supply cross sections of the building which clearly show the method of construction, details of the materials intended to be used and accurately show floor levels and adjacent ground levels.

New Buildings or Major Extensions

When erecting a new building or a major extension, the following additional information is normally required.

- Full bracing calculations.
- Drainage plans for both sewerage and storm water. If the property is rural a septic tank assessment form completed by a Council approved assessor. *A fact sheet on septic tank systems is available on request.*
- Details of all Insulation.
- Penetrometer test confirming ground bearing capacity – these apply to all lined building and any other building greater than 100 m². Tumu type pole sheds do not generally require this information. *A fact sheet on penetrometer tests is available on request.*
- Specifications

WHAT HAPPENS NEXT?

Your application may need to be seen by several Council Officers. For example Planning, Environmental Health Inspector, Flood Height Officer, or maybe a Structural Engineer. Your application form is rechecked for completeness and then programmed for this purpose shortly after you make your application. Incomplete applications, or ones with inadequate details will be deferred for further information. No work will be done on your consent until this information is received. The time required for these officers to check your proposal varies and has a bearing on how long it takes before your consent is issued. Normally Building Consents are issued within a ten working day period from the time of application. The Building Act 2004 requires Council to process consents (if not suspended for further information) within 20 working days.

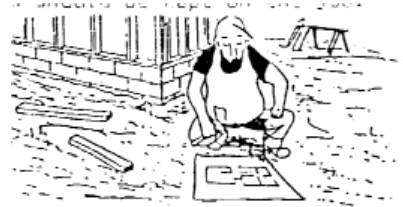
Fees

Some building consents have set fees and are paid at the time of application. For other consents fees are charged on an actual and reasonable basis. As your application is processed charges are accrued. Then the inspections required are scheduled and charges added for these. Depending on the value of work there may be Government levies. When the consent is approved you will be notified by mail. An invoice for the building consent fee will accompany the notice. The building consent cannot be uplifted until the invoice is paid.

After your consent has been approved...

Stamped & approved plans must be kept on site.

Together with your application you are required to submit two sets of drawings. One set will be sent back to you with your consent showing details of any amendments that are needed to ensure that the building complies with the New Zealand Building Code. These drawings will be stamped with the GDC stamp and must be kept on the job.

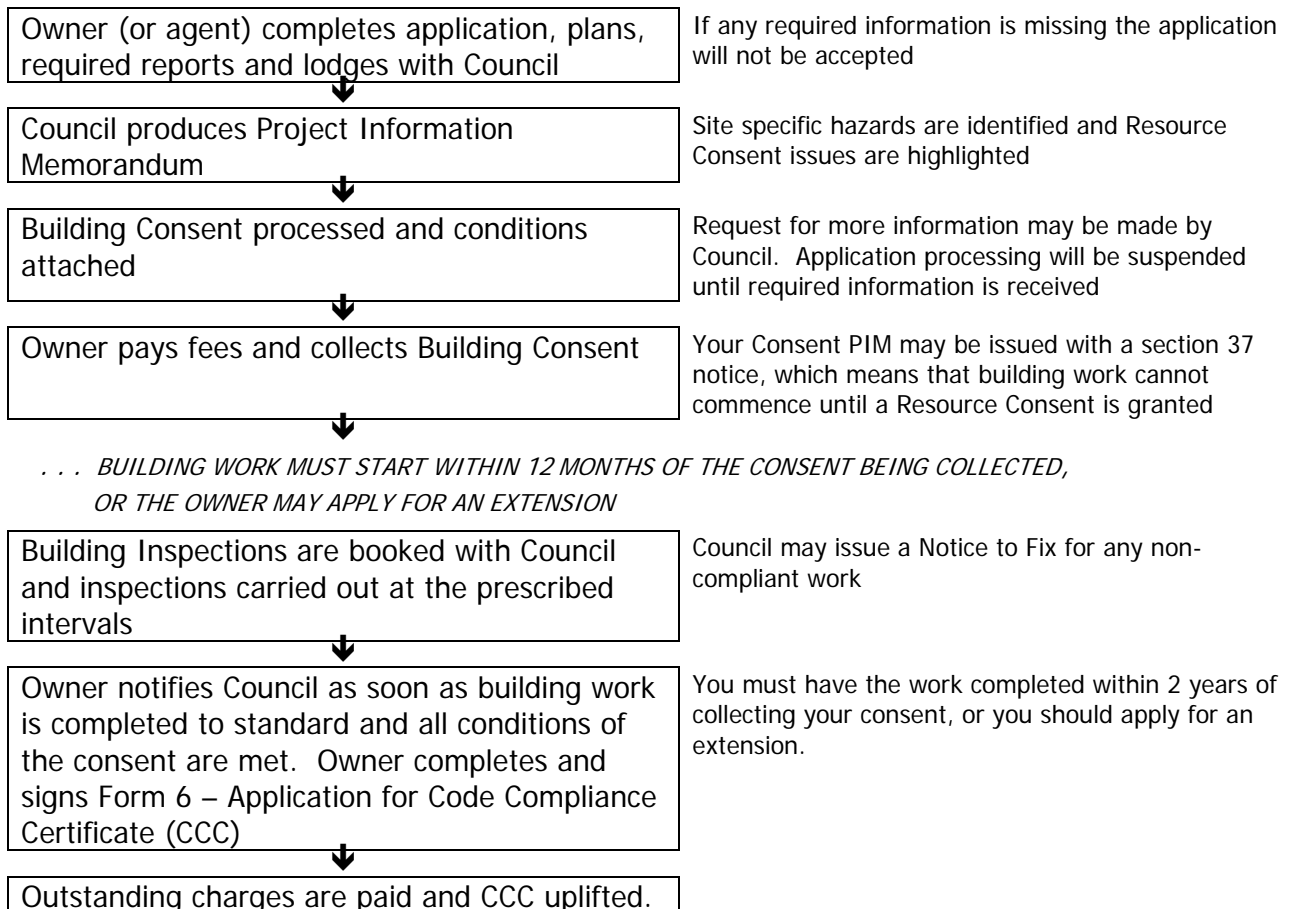


Work must start within 12 months and be completed within 2 years.

Your consent becomes 'issued' on the date you collect it. Building work should begin within twelve months of this date or your consent will lapse and no longer be valid. You should complete the work and apply for a 'Code Compliance Certificate' within 2 years of the issue date. In either case you may apply to the Council for an extension, but must do so within the given time frame.

HOW IT ALL WORKS

The chart below summarises the building consent process.



If you have any queries regarding building consents please do not hesitate to contact a Building Inspector. We are here to help you.